



Vistancia Village A Design Review
Modification Application
Checklist

Please use this checklist list to ensure a timely and complete submittal

General Information

- Applications **must be submitted by 12pm** the Friday before the DRC meeting
- DRC meetings are the second and fourth Wednesday of each month
- Application and Design Guidelines can be accessed on MyVistancia.com
- The DRC has up to 45 days to review and render a decision on all complete applications
- If applications are not complete, they will not be reviewed by the DRC**

Required Material

- Completed Modification Application signed by the homeowner
- Cut sheets (colored copies) of all materials being used
- Plant list must have both botanical and common names
- Plant list must be specified as front yard and/or backyard
- Provide diagram and legend of all areas being modified (see sample diagram & legend on page 3)

Exterior Home Repainting

- Must submit a Modification Application**, even if the same paint scheme is being used
- Must pick an approved paint scheme for your neighborhood
- Paint schemes can be located on MyVistancia.com
- Please keep in mind that some colors no longer exist and have been crossed over to either Sherwin Williams or Dunn Edwards
- If you are selecting a different paint scheme for your neighborhood, you cannot pick a scheme that is the same as your neighbor across from you or either side of you
- Cannot rearrange colors within scheme, must be applied per scheme layout

Front Yard Requirements

- Provide front yard diagram and plant legend with both botanical and common names
- There must be at least two street trees and one of those must be between 4' and 8' behind the sidewalk in the front yard. Indicate which tree will be planted in the 4' to 8' zone.
- There must be at least 4 different species of shrubs and/or groundcovers represented in the front yard. Cacti and accent plants do not count towards this requirement. The landscaping must cover 50% of the front yard at two years' growth.
- Turf (real or artificial) is limited to 20% of the front yard total landscapable square footage (excluding driveway and path to front door). **Show on diagram both the total landscapable square footage calculation and the turf ratio based on the total landscapable square footage.**
- Provide specification sheet that includes the brand, height and weight of artificial turf (see DG page 2 Exterior Surface Material).

- Provide color photos for all travertine, pavers and any tile being installed in front yard. **Provide dimensions of any hardscape being installed on diagram.**
- Show dimensions of side yard path (42" maximum) and trash pad on side yard on diagram.
- Provide granite/rip rap color and size. **Rip rap is for drainage purposes only, not decorative.** Rip rap size is limited to 3" to 8".
- Driveway extensions are limited to 2 feet in width or up to the outside edge of the home or whichever is less. **Show width on diagram.**
- Provide cut sheets (color copies) for all outdoor light fixtures displaying bulb wattage (50 watts maximum).

Back Yard Requirements

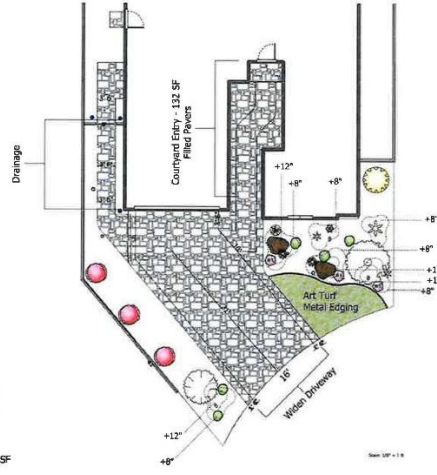
- Provide back yard diagram and plant legend showing both botanical and common names.
- Provide cut sheets (color photos) for all travertine, pavers and any tile being installed in rear yard for all view fence lots.
- Provide granite color and size.
- Provide cut sheets (color copies) for all outdoor light fixtures displaying bulb wattage (50 watts maximum).
- Pergolas/Gazebos/Ramadas/Sail Shades – **provide H x W x L dimensions with color photos of materials and color.** The height maximum is 10' at highest point above ground level and any rafter tails must be at least 5' away from any property wall. **Show distance on the diagram.**
- For pergolas/gazebos/ramadas/sail shades, **provide the total square footage of the rear yard on the diagram.** House-to-rear wall and side wall-to-side wall measurements. Do not use side yards in this calculations. Shade coverage cannot exceed 10% of the total rear yard square footage. **Show square footage total and calculation on diagram.**
- Artificial turf - provide color photo and identify brand, height and weight.
- Turf requires a 3' setback from any property wall. **Show distance on the diagram.**
- All hardscape (patios, pool decking, BBQ, fire pits, etc.) must be at least 5' away from any property wall. **Show distance on the diagram.**
- Raised patios cannot exceed 12" in height measured from existing grade. **Show height on diagram.**
- Fireplaces or fire pits – provide dimensions. **Color photos of materials for all view fence lots.**
- Confirm all fireplaces and fire pits are gas only. **Wood burning is not permitted.**
- Outdoor kitchens – provide dimensions on diagram. **Provide color photos of all materials**
- All swimming pools and/or spas must be set back from any property wall a minimum of five feet (5') from deck edge. This means from the property wall to where decking starts (see page 11 of the DG). The city of Peoria only mandates 4' from water edge, so Vistancia/Blackstone is more restrictive than the city. **Please add the 5' setback dimension to the diagram so DRC can confirm it meets the requirement.**
- Provide color photos of all materials being used in and around the pool.

- A pool equipment screen is required for all view fence lots. Must be 1' taller than the tallest piece of equipment. **Show on diagram with dimensions, materials and color.**
- For view fence lots, water features must be fully enclosed on all sides with no mechanical or plumbing equipment installed out the outside. Must observe the 5' setback rule. **Provide dimensions and setback** of water feature. Provide information of how the back of the feature is finished.

Example Diagram and Legend for Reference

Symbol	Qty	Common Name	Botanical Name	Container
	1	Cascalote Tree	Caesalpinia cacalaco	48 In
	1	Jacaranda	Jacaranda mimosifolia	36 In
	2	Utah Agave	Agave utahensis	15 Gal
	1	Variegated Century Plant	Agave americana var. marginata	15 Gal
	2	Parry's Agave	Agave parryi var. huachuensis	5 Gal
	1	Mexican Fence Post	Stenocereus marginatus	5 Gal
	3	Bougainvillea	Bougainvillea La Jolla	5 Gal
	1	Slipper Plant	Euphorbia macrocarpus	5 Gal
	5	Autumn Sage	Salvia greggii	5 Gal
	3	Verbena	Verbena Gooddingii	5 Gal
	1	Mexican Bird of Paradise	Caesalpinia Mexicana	5 Gal

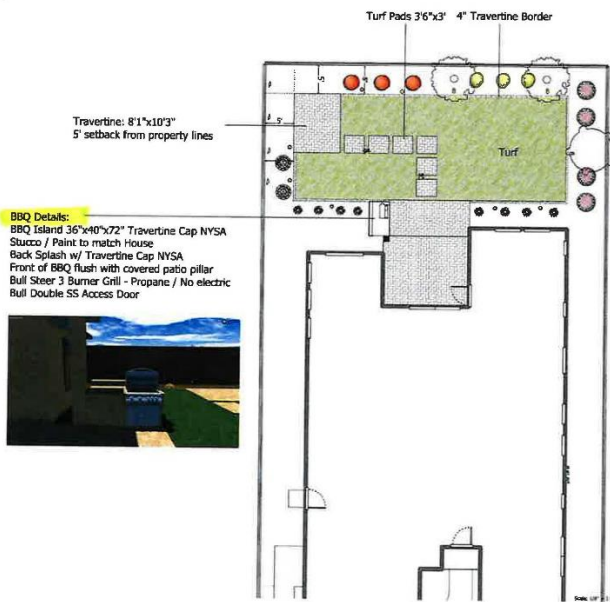
Front yard Landscape includes:
Automatic Irrigation with PVB (Pressure Vacuum Breaker) and schedule 40 PVC.
Includes: 2 Drip lines (1) for Trees (1) for shrubs with bowsmith emitters.
Pre emergent applied to all granite areas



Symbol	Qty	Name
	2	Boulders (Surface Select) 2' x 3' - 800lbs
	3	Drainage
	1	Pop - Up
	4	LED Path Light - Brown / Metal
	3	LED Spot Light - Brown / Metal

Fill Style	Category
	80 02 Art Turf 146 SF = 14.5% of 1006 Landscappable SF 26' LF of Metal Edging
	Cambridge Cobble Desert Blend 386 SF above Table Mesa Brown 1/2" Granite 9 Tons
	10 Tons Mounding - Fill Dir.

Symbol	Qty	Common Name	Botanical Name	Container
	2	Cascalote Tree	Caesalpinia cacalaco	24 In
	1	Texas Mountain Laurel	Sophora Secundiflora	24 In
	4	Yellow Flowering Jasmine	Geisemium Sempervirens	5 Gal
	3	Bougainvillea	Bougainvillea La Jolla	5 Gal
	3	Autumn Sage	Salvia greggii	5 Gal
	4	Mexican Bird of Paradise	Caesalpinia mexicana	5 Gal
	2	Red Bird of Paradise	Caesalpinia pulcherrima	5 Gal
	8	Utah Agave	Agave utahensis	5 Gal



BBQ Details:
BBQ Island 36"x40"x72" Travertine Cap NYSA
Stucco / Paint to match House
Back Splash w/ Travertine Cap NYSA
Front of BBQ flush with covered patio pillar
Bull Steer 3 Burner Grill - Propane / No electric
Bull Double SS Access Door



Symbol	Qty	Name
	1	Bull Double SS Access Door
	1	Bull Steer 3 Burner Grill - Propane / No electric
	7	LED Path Light
	3	LED Spot Light

Fill Style	Category
	80 Oz Libra Prime 795 SF 99 LF Matching Travertine Border
	NYSA Travertine Spc 417 SF
	Table Mesa Brown 1/2" 18 Tons

Automatic Irrigation with PVB (Pressure Vacuum Breaker) and schedule 40 PVC.
Includes: 2 Drip lines (1) for Trees (1) for shrubs with bowsmith emitters.
Pre emergent applied to all granite areas



THE VILLAGE AT VISTANCIA COMMUNITY ASSOCIATION
DESIGN GUIDELINES
APPENDIX B MODIFICATION APPLICATION

Name: _____ Front Yard _____
Address: _____ Back Yard _____
City/State/Zip: _____ Other _____
Lot/Neighborhood: _____
Phone: _____ Email: _____

1. Nature of Request:

- Review and approved of final plans (initial submission)
Appeal of a 'not approved' or any notation of an "approved as noted" Modification Application
Review and consideration of exceptions to or deviations from the Design Guidelines

Please specify: _____

Review and consideration for a change to the provisions of the Design Guidelines

2. Proposed Construction or Modification (check one or more of the following):

- Addition or alterations to existing home
Landscape, Irrigation, Lighting and Contouring Plans
Hardscape plans (hard permanent materials)
Pavers Brick masonry Wood Trim Concrete Rocks Flagstone
Outdoor BBQ Fireplaces Other materials
Walls, gates and/or fences
Pools and/or spas
Solar Panels
Exterior Paint
Other on-site improvements/additions. Please specify: _____

3. Is lot adjacent to arroyo (wash) or open space corridor? Yes No

4. Does backyard have view fence? Yes No

**THE VILLAGE AT VISTANCIA COMMUNITY ASSOCIATION
DESIGN GUIDELINES
APPENDIX B MODIFICATION APPLICATION**

I anticipate that the proposed construction or modification described in the attached plans will be completed within days/months from the date that I receive approval from the Design Review Committee. I understand that, if the proposed construction or modification is approved, I will be responsible for scheduling all work in a timely manner, for completing the work within the time period specified in the DRC's approval, and for complying with the approval issued.

I UNDERSTAND AND ACKNOWLEDGE THAT NO WORK MAY COMMENCE PRIOR TO THE WRITTEN APPROVAL OF THE DESIGN REVIEW COMMITTEE AND THAT I WILL BE LIABLE FOR ALL COSTS NECESSARY TO BRING ANY NONCONFORMING WORK INTO COMPLIANCE WITH THE DECLARATION AND THE DESIGN GUIDELINES AND FOR SUCH OTHER PENALTIES AS PROVIDED IN THE DECLARATION AND THE DESIGN GUIDELINES.

Owner's Signature Date of Submission

FOR OFFICE USE ONLY:

COMMENTS: _____

RECOMMENDATION:

APPROVAL APPROVAL WITH MODIFICATION DISAPPROVAL DEFER TO COMMITTEE

DESIGN REVIEW COMMITTEE:

APPROVAL APPROVAL WITH MODIFICATION DISAPPROVED

Design Review Coordinator Date

Design Review Committee Member Date